

REFERRALS

| | Date | Comments | Date | Comments | Additional |
|-------------------------------|-------------------|-------------------|-------------------|-------------------|-------------------|
| | <u>Referred</u> | <u>Dated</u> | <u>Referred</u> | <u>Dated</u> | <u>Reports</u> |
| a. Municipal Engineer | <u>6/27/24</u> | <u>9/5/24</u> | <u> </u> | <u> </u> | <u> </u> |
| b. Professional Planner | <u>6/27/24</u> | <u>9/7/24</u> | <u> </u> | <u> </u> | <u> </u> |
| c. Traffic Consultant | <u>6/27/24</u> | <u>8/30/24</u> | <u> </u> | <u> </u> | <u> </u> |
| d. Construction Official | <u>6/27/24</u> | <u>7/8/24</u> | <u> </u> | <u> </u> | <u> </u> |
| e. Shade Tree Advisory Comm. | <u>6/27/24</u> | <u>9/6/24</u> | <u> </u> | <u> </u> | <u> </u> |
| f. Health Officer | <u>6/27/24</u> | <u>7/8/24</u> | <u> </u> | <u> </u> | <u> </u> |
| g. Tax Collector | <u>6/27/24</u> | <u>9/5/24</u> | <u> </u> | <u> </u> | <u> </u> |
| h. Public Safety | <u>6/27/24</u> | <u>9/5/24</u> | <u> </u> | <u> </u> | <u> </u> |
| i. Environ. Res. Committee | <u>6/27/24</u> | <u>9/6/24</u> | <u> </u> | <u> </u> | <u> </u> |
| j. Mercer County Planning Bd. | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| k. Ewing-Law. Sewer Auth. | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| l. _____ Water Co. | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| m. D & R Canal Commission | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| n. U.S. Post Office | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| o. NJDOT | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| p. PSE&G Co. | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| q. Board of Education | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| r. Historic Preserv. Comm. | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| s. NJDEPE/Wetlands | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
| t. NJDEPE/Stream Encroach. | <u> </u> | <u> </u> | <u> </u> | <u> </u> | <u> </u> |
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Township of Lawrence
ENGINEERING DEPARTMENT

TO: File

FROM: James F. Parvesse, Municipal Engineer

SUBJECT: Preliminary & Final Major Site Plan Application No. SP- 3/24
Lawrenceville Development Group, LLC, 3131 Princeton Pike
Tax Map Page 38, Block 3801, Lots 2 & 3

DATE: September 5, 2024

General:

Lawrenceville Development Group LLC has requested preliminary/final major site plan approval for "Canvas", the mixed-use development at 3131 Princeton Pike. The property was designated as a Non-Condensation Area in Need of Redevelopment by the Planning Board per Resolution 10-23 and Township Council accepted this recommendation per Resolution 155-23. A redevelopment plan was prepared and adopted by Council per Resolution 2460-23. The current submission is based on the adopted Redevelopment Plan and includes 204 residential units and 17,000 sf of retail area. The majority of the residential units will be located in Building A, a three-story building in the center of the site. Building B, adjacent to Princeton Pike, will contain retail uses and residential units in a two-story building.

Parking spaces, including electric vehicle spaces, have been provided in surface parking lots with two ingress/egress driveways onto Executive Park Plaza (owned by a subsidiary company of the applicant). Various site amenities have also been included. We will defer to the Planning Consultant for review of the proposed design elements for compliance with the Redevelopment Plan. Our detailed report consists of technical engineering items that should be addressed.

Detailed Report:

1.00 Site Layout

- 1.01 Electric vehicle parking has been provided in accordance with current regulations; however, the spaces have been concentrated in the largest parking area (between Buildings A and B). Some of the spaces shall be redistributed around the perimeter of Building A in areas convenient for residents.
- 1.02 A crosswalk has been provided across Executive Park Plaza, approximately 90' from the Princeton Pike intersection. The crosswalk should be shifted to the Princeton Pike right of way, with sidewalk extension to the property line as shown on the Redevelopment Plan. Accessibility improvements shall be included at the intersection.

Field inspection of the right of way area along the westerly side of Princeton Pike was conducted to determine if there could be a feasible sidewalk route to Franklin Corner Road. Due to the presence of large, specimen trees it would be difficult to extend sidewalk without extensive tree removal or encroachment onto the nursing home property. However, it would be beneficial for the developer to investigate other cross access possibilities for sidewalk connections. Area residents and local employees could utilize these types of connections for access to the proposed retail areas.

- 1.03 Three trash areas have been located on the north side of the site. Truck turning diagrams shall be provided to each area to verify the locations are maneuverable. The middle location does not appear to have sufficient space for the truck to access the containers.

- 1.04 Addresses will be assigned by the Engineering Department. A road name should be considered for the main driveway to enhance both delivery and emergency identification.
- 1.05 A tot lot should be considered as the projected development population will include families with children.

2.00 Stormwater Management

The Township adopted a Stormwater Control Ordinance on May 21, 2024 which complies with current NJDEP regulations. This project was submitted after adoption; therefore, the design must comply with the latest requirements. Major projects, as they relate to stormwater management, include designs with 0.25 acres of new impervious surface or one acre of disturbance.

- 2.01 Soil testing is required for bioretention basins and porous pavement and was witnessed per §522.E.4 of the Land Use Ordinance. The depth to groundwater shall be clarified for each location. If testing is out of season or inconclusive, monitoring wells shall be installed. Design adjustments may be required.
- 2.02 The initial geotechnical report indicates infiltration is possible near TP6. Further review of recharge possibilities is required in conjunction with the groundwater elevation determination noted in the above comment.
- 2.03 Calculations shall be provided to verify adequate capacity in the Princeton Pike drainage system to accommodate the 100-year storm outflow from bioretention basin 3. Calculations are also required for the drainage system into the existing basin on Lot 6, which is the outlet for bioretention basin 1 and porous pavement areas. The downstream drainage systems must properly accommodate all basin outflow.
- 2.04 A backwater analysis is required to verify bioretention basin 2 is not negatively impacted by the 100-year water surface elevation in bioretention basin 3.
- 2.05 Clarify whether the drainage piping in porous pavement areas is RCP or HDPE. Typically, manifold connections and access manholes are also provided. Appropriate details for each area shall be provided. In addition, confirm there will be no piping in porous pavement areas 1-3.
- 2.06 The Major Project Summary and Low Impact Checklist shall be completed.
- 2.07 The stormwater report narrative indicates bioretention basin 3 is a wet pond with a permanent pool of water. Both an aerator and demonstration of adequate water supply are required.
- 2.08 Roof drainage piping shall be connected to the underground storm sewer system. The design shall be shown on the plans.
- 2.09 The purpose of the PVC liner in the porous pavement cross section shall be provided.
- 2.10 Stormwater maintenance reports are required on an annual basis and have not been received for this property. The Operations and Maintenance Manual shall be prepared to include all properties in common or subsidiary ownership and shall include all existing and proposed features. Note there shall be specific guidelines for maintenance of the porous pavement areas.

The Manual shall be submitted for review. Upon approval, it shall be recorded with the Mercer County Clerk's Office with a deed declaration.

3.00 Grading

- 3.01 Per the Redevelopment Plan, trees along Princeton Pike shall remain unless dead/diseased. The trees to remain shall be identified on the grading plan. It appears that there will be disturbance including grading and a drainage pipe within the driplines of some trees which would impact retention.
- 3.02 The 1' high curb along the northerly parking area shall be replaced with standard 6" curb and the curb bumpers eliminated. Bumpers tend to trap debris and impact proper maintenance, including plowing. If necessary, the proposed retaining wall shall be extended in height and length.

4.00 Miscellaneous

- 4.01 Sanitary sewer design inverts shall be provided to verify there are no conflicts with other design features such as storm sewer piping. In addition, both building laterals are shown as 4" piping. The sizes shall be verified.
- 4.02 All construction details shall conform to Engineering Department Standard Details, available on the website. At a minimum, the following revisions are required:
- a. The detectable warning surfaces shall be "Brick Red", manufactured by ADA Solutions, Inc or approved equal.
 - b. Stop bars and crosswalks shall use thermoplastic paint with glass beads.
 - c. Curb and sidewalk details shall be in accordance with Engineering Department details. A 4" thick foundation shall be specified.
 - d. The pavement section shall conform to Township requirements.
 - e. Minimum d50 shall be 4".
 - f. Grease trap details shall be added.
 - g. Pipe bedding details shall be reviewed.
- 4.03 The signature area on the title sheet shall be revised to Lawrence Township.
- 4.04 Other permits/approvals:
- a. Mercer County Planning Board
 - b. Delaware and Raritan Canal Commission
 - c. ELSA – availability of service
 - d. Trenton Water Work – availability of service
 - e. Public Safety Committee
 - f. Lawrence Township Soil Disturbance Permit (prior to construction)

JFP/jrt

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Documents Reviewed:

- Application No. SP-3/24 and Supporting Documents
- Site Plans, dated April 24, 2024
- Architectural Plans, dated April 24, 2024
- Landscape Plans, dated April 24, 2024
- Survey, dated May 2, 2024
- Fire Truck Turning Plan, dated April 5, 2024
- Traffic Impact Study, dated May 22, 2024
- Environmental Impact Statement, dated April 24, 2024
- Community Impact Statement, dated April 24, 2024
- Stormwater Management Report, dated April 24, 2024



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To: Lawrence Township Planning Board

From: Elizabeth McManus, PP, AICP, LEED AP *EMM*
Brett Harris, AICP *BH*

Re: Lawrenceville Development Group, LLC
Preliminary and Final Major Site Plan
Block 3801 Lots 2 & 3
3131 Princeton Pike
3131 Princeton Pike Redevelopment Area

Date: September 7, 2024

1.1 Site & Project Description

- 1.2** The Applicant is requesting Preliminary and Final Major Site Plan approval for a mixed-use inclusionary development on Block 3801, Lots 2 and 3. The site is about 8.5-acres located on Princeton Pike in the central portion of Lawrence and is part of the Princeton Pike Redevelopment Area.
- 1.3** The Princeton Pike Redevelopment Area, which consists of Block 3801 Lots 2, 3, 6, 18, 19, was designated as a “non-condemnation area in need of redevelopment” by the Township Council through Resolution 155-23 based on the Planning Board’s recommendation in Resolution 10-23. The 3131 Princeton Pike Redevelopment Plan was adopted on December 5, 2023, through Ordinance No. 2460-23. The standards outlined in the Redevelopment Plan govern redevelopment of the site. Furthermore, the Township adopted a Redeveloper’s Agreement through Resolution 173 on April 16, 2024, which also governs redevelopment of the site.
- 1.4** The current application before the Planning Board is not for the entirety of the Redevelopment Area, it is solely for the eastern most parcels of Block 3801, Lots 2, and 3. The site is located at the intersection of Executive Park Plaza Road and Princeton Pike, and is currently developed with three office buildings and associated improvements. The Applicant is proposing to demolish the existing buildings on Lots 2 and 3 and construct a mixed-use inclusionary development, which consists of 204 multifamily residential units, including a 15% affordable housing set-aside, and 17,510 square feet of retail space, as well as associated parking, landscaping, stormwater management, and site amenities. Two buildings are proposed, one of which is a two-story mixed-use building along the site’s Princeton Pike frontage and to the rear is a residential building, including amenities.



- 1.5** The mixed-use building, Building B, consists of 17,510 square feet of retail space (11 commercial spaces), and 28 residential units, the majority of which are on the second floor. Between Building B and Princeton Pike are several proposed improvements including a dog park, a boardwalk, a bioretention basin, and several amenities which will enhance the pedestrian experience including cafe seating, lounge seating, and tree benches. The ground floor of the center of Building B is open, allowing pedestrians to pass through the center of the building and creating a more inviting and interesting experience.
- 1.6** Building A is a three-story residential building proposed consisting of 176 units. Several residential amenities are proposed within two building courtyards, including a pool with an associated fence, two fire pit lounges, and a BBQ dining area. Other proposed site improvements include two small scale bioretention basins, electric vehicle charging, lighting improvements, pervious pavement in the parking lot, and landscaping improvements.
- 1.7** The remaining portion of Redevelopment Area, Lots 6, 18 and 19, is developed with three office buildings and associated improvements. These lots are not subject to this application and are not proposed for improvement. These Lots are subject to the O District standards.
- 1.8** The site, as well as the remaining portion of the Redevelopment Area has access to Princeton Pike via Executive Park Plaza Road. Additionally, there is access to Franklin Corner Road on Lot 18 that all portions of the Redevelopment Area may continue to utilize.

2.0 Surrounding Area

- 2.1** The site's surrounding area consists of predominately of nonresidential uses, particularly office buildings, however there are residential uses in the area as well. To the north is a granite supplier, in the O District, and I-295 is further north. Across Princeton Pike, to the east, are medical offices in the O District. Across Executive Park Plaza Road are professional offices and a nursing and rehabilitation center in the O District. To the west are the additional office buildings located in the Princeton Pike Redevelopment Area and a mix of offices and single-family homes along Franklin Corner Road. Further west is a private residential community, The Woodmont, in the AT District.



POLICY
PLANNING
DESIGN

LAWRENCEVILLE DEVELOPMENT GROUP

BLOCK 3801 LOTS 2 & 3

TOWNSHIP OF LAWRENCE MERCER COUNTY NJ

DATA SOURCE: Aerial Imagery, Google Earth 2021; NJGIN Mercer County Parcels 2023



3.0 Zoning Standards

3.1 Permitted Uses. The site is subject to the development standards outlined in the 3131 Princeton Pike Redevelopment Plan. Principal permitted uses include multi-family residential dwellings, retail sales of goods and services, personal services, convenience stores, restaurants, taverns and bars, indoor recreational facilities health clubs, and spas. Permitted accessory uses include but are not limited to signs, fences and walls, roof-top solar facilities, electric vehicle charging stations and make-ready infrastructure, outdoor dining, parks and plazas and other uses which are customary and incidental to the principal permitted uses. The full list of permitted accessory uses and structures can be found in the Redevelopment Plan. The proposed principal and accessory uses are permitted in the Redevelopment Plan.

3.2 Bulk Requirements. The Application does not require bulk variance relief from the Redevelopment Plan standards. Please see the following table for additional detail.

| 3131 Princeton Pike Redevelopment Plan (Lots 2 & 3) | | | | |
|---|---------------------|---------------------|---------------------|-----------|
| | Required | Existing | Proposed | Variance? |
| Max. Residential Density | 205 units | N/A | 204 units | No |
| Min. Front Yard Setback: Princeton Pike | 65 feet | 164.4 feet | 73.73 feet | No |
| Min. Front Yard Setback: Executive Park Plaza Rd | 15 feet | 51.4 feet | 15.25 feet | No |
| Min. Side Yard Setback | 45 feet | 158.8 feet | 53.73 feet | No |
| Min. Rear Yard Setback | 45 feet | 80 feet | 150.39 feet | No |
| Max. Building Height | 3 stories / < 50 ft | 2 stories / < 50 ft | 3 stories / < 50 ft | No |
| Max. Impervious Coverage | 80% | 58% | 73.9% | No |
| Max. Parking Setback: External Boundary | 5 feet | 3.4 feet | 6 feet | No |
| Max. Parking Setback: Internal Boundary) | 2 feet | 4.3 feet | 3 feet | No |
| Max. Parking Setback: Princeton Pike | 35 feet | 100.1 feet | 59 feet | No |
| Max. Parking Setback: Executive Park Plaza Rd | 5 feet | 42 feet | 19.88 feet | No |
| Min. Sidewalk Width | 5 feet | N/A | 5 feet | No |



3.3 Plaza Width. A minimum average plaza width of 25 feet is required along Princeton Pike and 15 feet is required for the site interior. It appears that the average plaza widths are compliant with the Redevelopment Plan standards (item H.10); however, the zoning summary table notes the average plaza width is “less than (<)”. The average width calculation should be provided and compliance with the Redevelopment Plan standards should be demonstrated.

4.0 General Site Plan & Miscellaneous Comments

4.1 Item C.1 of the Redevelopment Plan requires the proposed development to be “substantially consistent” with the Concept Plan that is attached to the Redevelopment Plan. The Board should note that relief is not required for *any* change from the Concept Plan. The application meets this requirement.

4.2 The Applicant should provide testimony regarding the building use and operation for residents, employees and the public, including but not limited to hours of operation of the non-residential uses.

4.3 The Applicant should confirm the resident amenities shall be available to residents of both buildings.

4.4 The Applicant is proposing three trash enclosures: one at the northwest corner of the property, one centrally located along the northern property line, and one at the northeast corner of the property. Additionally, a trash room and trash compactor are located on the northern side of Building A and a trash room is depicted on the northern side of Building B.

a) The applicant should indicate if the trash room in Building B is intended for residents and /or businesses in the building.

b) The Applicant should indicate the color of the proposed masonry wall of the trash enclosures. The color should be complementary to the proposed building materials.

4.5 The proposed dog park fence, at 4 feet in height, has black posts and a wire mesh fence with a stainless-steel finish. We offer concern regarding the visual impacts of the stainless-steel mesh fencing as it appears to resemble chain link fencing. Given the high visibility of the dog park along the site’s frontage, we recommend a more decorative fence. At a minimum, the mesh fence should be black to match the posts and be less noticeable.

4.6 The colors/finishes of the proposed pedestrian amenities should be specified, including the cable rail, bike racks, tree benches, wall benches, and trash/recycling receptables. The plans identify the color/finish of each as “to be selected”.

4.7 The applicant should indicate the proposed material for the boardwalk facing Princeton Pike.



5.0 Parking and Circulation

- 5.1** Item D.1 of the 3131 Redevelopment Plan requires the proposed parking and circulation to be “substantially consistent” with the Concept Plan that is attached to the Redevelopment Plan. The Board should note that relief is not required for *any* change from the Concept Plan. The application meets this requirement.
- 5.2** The development proposal requires 386 parking spaces. Item D.1.a in the Redevelopment Plan allows for off-site parking within the Redevelopment Plan Area, a retail shared parking reduction of up to 50% and an electric vehicle credit reduction of 10% (consistent with State law). Prior to the reductions, 475 parking spaces, consisting of 85 spaces for the nonresidential uses and 390 spaces for the residential units, are required. The Applicant proposes 369 on-site spaces and 17 off-site spaces on Lot 6 across Executive Park Plaza Road, for a total of 386 parking spaces.
- a) Item D.1.a in the Redevelopment Plan allows for a 50% reduction for nonresidential parking requirement if the Applicant demonstrates adequate parking exists for the proposed uses. The Applicant should provide testimony in this regard and demonstrate adequate parking exists for the proposed uses. Additional comments on this topic are deferred to the Board Traffic Engineer.
 - b) A “parking lot easement for Lot 3” is identified on the office complex’s survey. The Applicant proposes a crosswalk, and associated sidewalks, to facilitate pedestrian access to this location. The Applicant should confirm the easement will remain applicable and enforceable given it appears to relate to Building 3, which is proposed for removal.
- 5.3** The required parking calculation states 17,000 square feet of retail space; however, the development application notes 17,510 square feet of retail space. Clarification regarding the total area of retail space should be specified and the parking calculation should be updated as may be needed.
- 5.4** Additional detail should be provided regarding the Building B covered walkway. Recessed lighting and signage are proposed, however additional information regarding the pedestrian experience under the walkway should be provided. The pedestrian experience in this location is important given it functions as a gateway to the residential portion of the site. This area should be accessible, well lit, in turn drawing people in.
- 5.5** The Redevelopment Plan permits temporary parking deliveries, pick-ups and drop-offs (item D.2). The Applicant should indicate if these features are proposed.
- 5.6** A resident loading/move-in sign is depicted on the northern side of Building A and a loading area is proposed north of Building B.
- a) The Applicant should indicate the dimension of each area.
 - b) Testimony should be provided regarding moving in/out of residents , including the size of truck that can be accommodated and whether truck sizes should be limited as a result.



5.7 The Applicant should revise the sidewalk design to address the following:

- a) The sidewalk along a row of 10 parking spaces serving Building A is unlikely to be often utilized, this sidewalk should be eliminated or reconfigured.
- b) The sidewalk connecting the corner of Executive Park Plaza Road and Princeton Pike should be straight in order to avoid pedestrians creating a straight “desire path” in this area.

6.0 Landscape & Planting Design

6.1 Item H.1 of the 3131 Redevelopment Plan requires the site landscape and hardscape design to be “substantially consistent” with the Site Concept Plan that is attached to the Redevelopment Plan. The Board should note that relief is not required for *any* change from the Concept Plan. While there are some differences with the sidewalk proximate to Building B and the boardwalk configuration, the application meets this requirement.

6.2 §525.L.5 requires no more than 20 parking spaces in a row without a landscape island. One additional landscape island is required in the parking space row to the west of the northern portion of Building B.

6.3 Tree protection fencing should be depicted at the limit of the grading/clearing adjacent to the trees that are to be preserved along Princeton Pike.

6.4 Additional plantings should be incorporated into the landscape plan:

- a) Additional plant variety, including native plants, should be provided in the parking lot islands. §525L.2 requires a combination of deciduous trees, evergreen and deciduous shrubs, and ground cover. The northernmost parking lot islands only have Lilyturf proposed.
- b) Additional trees and shrubs should be incorporated into the basins adjacent to Building A.
- c) Additional street trees should be provided along Executive Park Plaza Road. §525C.2. requires large trees, which include the proposed london planetrees, to be planted every 40 feet, whereas the current tree intervals range from 50 feet to 90 feet.

6.5 The groundcover of the proposed dog park should be specified, and testimony should be provided regarding the longevity of the groundcover as it relates to the dog park use.

6.6 The landscape plan appears to provide pedestrian crossings through the parking lot island west of Building A. The applicant should confirm or correct these features on the plan. If intended for pedestrians, they may not be necessary as it is unclear how often they will be utilized.

- 6.7** The Redevelopment Plan, item H.5. requires trees located along Princeton Pike to be maintained, with the exception that dead and diseased trees may be removed. The Applicant should confirm compliance with this item with additional information about the trees proposed for removal.



7.0 Lighting

- 7.1** Footcandle values should be depicted in the Building A courtyards and pool area to determine the light spillage into the residential units that face these spaces. Bollard lighting is proposed in these locations which will reduce light spill; however, it is unclear what the lighting levels will be in these locations.
- 7.2** It appears that the proposed site lighting exceeds the maximum lighting controls set forth in §527.C.3. The maximum illumination provided on any site shall not exceed the minimum illumination by more than a ratio of 10 to 1. The proposed maximum to minimum ratio for the parking areas is 13:1 and 13.2:1 for the promenade breezeway.
- 7.3** Clarification regarding the proposed lighting fixtures should be provided. Nine (9) fixtures are depicted in the lighting schedule, however only 5 details are provided.
- 7.4** The color temperature for light fixtures I and G is not specified but should be consistent with the 3000k temperature proposed for other fixtures.



7.5 Compliance with dark sky standards should be demonstrated for all proposed lighting fixtures.

8.0 Architecture

8.1 Item E.1 of the Redevelopment Plan requires the proposed exterior architectural design (excluding signs) to be substantially consistent with the Concept Building Renderings that are attached to the Redevelopment Plan. The Board should note that relief is not required for *any* change from the Concept Building Renderings; instead, the Board should make a finding of whether the proposed buildings are “substantially consistent” with the Renderings in the Redevelopment Plan. The below listed items and additional information requests are recommended for this determination:

a) Building A:

- (1)** Colors and materials, as well as a rendering, are necessary to confirm the building features are substantially consistent with the Redevelopment Plan.
- (2)** It appears that the rhythm of windows has been amended and some building areas do not depict windows; however, a rendering will confirm the building’s compliance as well as the visibility of these areas.
- (3)** Balconies have been provided for many of the units.
- (4)** The Applicant should provide additional information on the exterior window design. This should include compliance with the renderings as well as requirement that upper floor windows shall be divided into individual units, rather than a continuous “ribbon” (item E.6 of the Redevelopment Plan).

b) Building B:

- (1)** Colors and materials, as well as a rendering, are necessary to confirm those building features are substantially consistent with the Redevelopment Plan.
- (2)** It appears that the rhythm of windows and some of the second story window design of has been amended; however, a rendering will confirm the building’s compliance.
- (3)** The Applicant is proposing signs on the second story of the building, rather than the first story as shown on the Concept Building Renderings.

8.2 The Applicant has provided a Sustainable Design Assessment report, which confirms satisfaction of sustainability features required in the Redevelopment Plan. In fact, the Applicant is proposing additional sustainability features, such as but not limited to porous pavement and water efficiency features.

8.3 The Applicant has provided transparency calculations for the Building B facades however they are noted as the north and south facades. Clarification should be provided that the calculations provided are for the façade that faces Princeton Pike, as required by item E.4 of the Redevelopment Plan.



- 8.4** Per item E.10 of the Redevelopment Plan, additional information regarding any proposed rooftop equipment such as mechanical units, vents, and flues shall be provided. Any rooftop equipment shall be located centrally on the building roof, to the extent practicable. Any equipment visible from a public right-of-way, adjacent lots, and pedestrian corridors shall be screened with solid materials using parapets, pitches roof forms, or penthouses. Screening shall be constructed of the same or complementary material as the building.
- 8.5** Item E.11 of the Redevelopment Plan requires the minimum size for each apartment to be 500 square feet. The applicant should confirm compliance.
- 8.6** Item E.12 of the Redevelopment Plan requires a minimum of 150 cubic feet of storage be provided for each unit, including interior and exterior storage. The applicant should confirm compliance.
- 8.7** It appears utility meters or boxes, air compressors, heat pumps, or other exterior equipment are not proposed between Princeton Pike and the mixed-use building, however confirmation should be provided. Item E.13 of the Redevelopment Plan requires these to be screened by architectural elements or landscape plantings.
- 9.0 Signage**
- 9.1** Item G.3. of the Redevelopment Plan requires submission of a comprehensive sign package that includes all relevant details, including but not limited to colors, materials, lighting, and dimensions. The Applicant indicated several signs are proposed, including façade signs, freestanding signs, exterior and interior directional signs, and directory signs. The following additional signage information should be provided:
- a)** The location of the Executive Park Plaza freestanding (monument) sign should be depicted (adjacent to the site access nearest Princeton Pike). We note a label and leader line are depicted however the sign location is not.
 - b)** The applicant should indicate which freestanding (monument) sign, “Type 1” or “Type 2”, are proposed for each location.
 - c)** Six (6) directional signs are proposed. A directional sign is indicated at the western entrance to the site; however, the plans do not indicate the purpose of the sign. A detail of the proposed sign should be provided.
 - d)** The location of the directory sign should be depicted on the Plans. Directional signs are identified on either side of the Building B covered walkway. The applicant should confirm these signs are not intended to be *directory* signs as that sign type is not otherwise located on the site.
 - e)** The applicant should indicate if any a-frame signs are proposed.
- 6.2** Three freestanding (monument) signs are depicted on the Site Plan. Item 4.a. of the Redevelopment Plan permits one freestanding sign along each road frontage (2 signs). The site plan indicates a sign associated



with Building A in the site interior. The applicant should indicate the purpose of the sign given the façade sign and the other freestanding signs.

- 9.2** Item G.4.a. of the Redevelopment Plan states the freestanding sign base shall have a width that is equal to or greater than the sign. The proposed sign base is 7 inches narrower than the sign (3.5 inches on each side). The proposed design meets the intent of the ordinance.

10.0 Affordable Housing

- 10.1** Per Item J.1 of the 3131 Princeton Pike Redevelopment Plan the applicant has provided a 15% affordable housing set-aside. The applicant should provide information on the integration of the affordable housing units with the market rate units. The Architecture Plans should identify the affordable units, and the units should be integrated throughout the development.

- 10.2** As noted in item 8.5 above, the applicant should provide the proposed unit sizes. This information is also necessary to confirm compliance with item J.5 of the Redevelopment Plan that sets forth required sizes for affordable housing units.

- 10.3** The affordable units must meet all other applicable affordable housing regulations, such as but not limited to, income distribution, bedroom distribution, phasing, affirmative marketing, and affordability controls. The Applicant should provide testimony regarding the proposed affordable housing compliance for the previously listed items. I recommend such compliance as a condition of approval and that the developer be further obligated to engage the Township's Affordable Housing Administrator for administration of the affordable units, at the sole cost of the developer.

- 10.4** The 2024 Amendment to the NJ Fair Housing Act states that NJ HMFA shall update the Uniform Housing Affordability Control Rules to require 40 year affordability controls for affordable rental units and 30 years for affordable sale units. These rules are required to be updated within 9 months of the Amendment's adoption, approximately October 9, 2024. The developer may be required to apply 40 year affordability controls depending on when the project receives approval and how UHAC is amended for applicability.

11.0 Land Use Policy

- 11.1** The 3131 Princeton Pike Redevelopment Plan outlines several objectives including:

- (1) Revitalize an aging office development with new uses and development options that better respond to market conditions appropriate for the site.*
- (2) Create a new neighborhood center for not only the residents and employees of the site, but also the surrounding offices and residential uses, that is an alternative to the commercial uses along Route 1.*



- (3) Ensure a unique sense of place is established that complements the character and scale of the Township.*
- (4) Create an inviting and vibrant social space through a pedestrian plaza anchored by mixed use development.*
- (5) Create diverse housing opportunities in the form of multi-family residential development that accommodates a mix of incomes and household sizes.*

11.2 The Township’s 1995 Master Plan defines the following goal:

“Preserve and enhance the character of the built environment through the promotion of good design.”

11.3 The Township’s 1995 Master Plan defines the following objective under the Community Character Goal:

“Encourage new development to be compatible with the style and scale of existing buildings.”

11.4 The Township’s 1995 Master Plan defines the following Land Use Goal:

“Foster a well-balanced, diverse community with a mix of residential housing types institutional, commercial, and limited industrial uses along with ample open space and public facilities. The land use plan and development regulations are designed to minimize land use conflicts and to reduce adverse impacts of development on other activities in the Township.”

11.5 The Township’s 1995 Master Plan defines the following objectives under the Land Use Goal:

“Direct new development and redevelopment to places in relation to their transportation and environmental capacities.”

11.6 The Township’s 1995 Master Plan defines the following Housing Goal:

“Preserve the existing housing stock and provide the opportunity for the development of a wide variety of housing types to meet the needs of varied income and age levels, family compositions, and lifestyles.”

And the following Objective:

“Provide through the Township’s land development regulations, for a wide variety of housing types including adequate living space for all persons sufficient land for each dwelling units to meet the needs of current and future residents of Lawrence.”



12.0 Materials Reviewed

12.1 Application and supporting documents.

12.2 *Preliminary and Final Site Plan Canvas* consisting of 12 sheets, prepared by Louis L. Zuegner of MidAtlantic Engineering Partners dated April 24, 2024, last revised XX.

12.3 *Architecture Plans*, consisting of 7 sheets, prepared by Stephen L. Schoch AIA, Thriven Design dated April 24, 2024.

12.4 *Landscape Plans*, consisting of 8 sheets prepared by Thomas B. Bauer, L.L.A., Mellilo Bauer Carman Landscape Architecture, dated April 24, 2024.

12.5 *Traffic Impact Study*, prepared by Dynamic Traffic, dated May 22, 2024

12.6 *Environmental Impact Statement*, prepared by MidAtlantic, dated April 24, 2024

13.0 Applicant Team

13.1 Applicant: Lawrenceville Development Group LLC, 45 Eisenhower Drive #500 Paramus, NJ 07652

13.2 Owner: LDG Land 1 LLC & LDG Land 2 LLC

13.3 Attorney: Dino Spaddaccini Esq. 98 Franklin Corner Road Lawrenceville NJ 08648 609-912-0100

13.4 Engineer: Louis L. Zuegner IV PE 1971 Route 34 Suite 201 Wall NJ 07719 609-910-4450



SURINDER S. ARORA, PE
President

ARORA and ASSOCIATES, P.C.

Consulting Engineers

Princeton Pike Corporate Center
1200 Lenox Drive, Suite 200, Lawrenceville, NJ 08648
(609) 844-1111 • Fax (609) 844-9799

MEMORANDUM

DATE: August 30, 2024

TO: Lawrence Township Planning Board and Zoning Board of Adjustment

FROM: Quazi Masood, P.E., PTOE *qms*
William T. Dougherty, P.E., PTOE *wtd*
Traffic Consultant

SUBJECT: Lawrenceville Development Group, LLC – 3131 Princeton Pike - Canvas
Major Site Plan – Preliminary & Final Major Site Plan Application SP-3/24
Planning Board Memorandum #1
Lawrence Township Mercer County, New Jersey
Tax Map Page 38, Block: 3801, Lots 2 & 3

Document Received

We are in receipt of the following information for review pertaining to the submission of Bulk Variance Application and Preliminary and Final Site Plan Approval for proposed mixed use development called Canvas at 3131 Princeton Pike, Lawrence Township, Mercer County, New Jersey submitted by Lawrenceville Development Group, LLC.

- One Transmittal Letter from James Parvesse, Municipal Engineer (1 page) dated June 27, 2024, for reports due Friday, September 6, 2024.
- One Application with Supporting Documents (29 pages) prepared by the Spadaccini Law Firm, LLC dated June 20, 2024
- One set of Architectural Plans (7 sheets) prepared by Thriven Design dated April 24, 2024
- One Community Impact Statement (8 pages) prepared by MidAtlantic Engineering Partners, LLC dated April 24, 2024
- One Environmental Impact Statement (26 pages) prepared by MidAtlantic Engineering Partners, LLC dated April 24, 2024
- One Fire Truck Turning Template (1 sheet) prepared by MidAtlantic Engineering Partners, LLC dated April 5, 2024
- One set of Landscape Plans (8 sheets) prepared by Melillo, Bauer, Carman, L.A. dated April 24, 2024
- One set of Preliminary and Final Major Site Plans (12 sheets) prepared by MidAtlantic Engineering Partners, LLC dated April 24, 2024, last revised May 14, 2024
- One Survey with Topography (1 sheet) prepared by Acre Land Surveying dated October 25, 2023, last revised May 2, 2024
- One Stormwater Management Report (675 pages) prepared by MidAtlantic Engineering Partners, LLC dated April 24, 2024
- One Traffic Impact Study (53 pages) prepared by Dynamic Traffic dated May 22, 2024
- One copy of 3131 Princeton Pike Redevelopment Plan (23 pages) prepared by Kyle + McManus Associates dated October 16, 2023

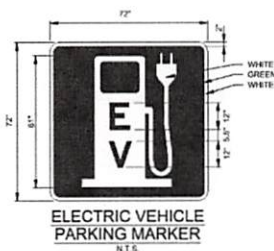
Project Description

Per the Introduction in the Traffic Impact Study, this Project consists of the demolition of three existing office buildings and the construction of a mixed-use development of multi-family residential and retail commercial spaces, located on the northwest quadrant of the intersection of Princeton Pike (CR 583) and Executive Park Plaza in Lawrence Township, Mercer County, New Jersey. The site is designated as Block 3801 – Lots 2 and 3 on the Lawrence Township Tax Maps. The subject property is currently developed with two (2) 25,000 SF office/medical office buildings on Lot 2 and one (1) 55,000 SF office building on Lot 3. It is proposed to raze the existing buildings and construct a five (5)-story residential building and a two (2)-story mixed-use building consisting of 204 residential units and 17,000 SF of retail space in total (“The Project”). The site is located within the 3131 Princeton Pike Redevelopment Plan area. Access to the site is currently provided and is proposed to remain via one (1) full-movement driveway along Princeton Pike and one (1) right-in/right-out driveway along Franklin Corner Road. Cross access is currently provided to Lots 6, 18, and 19 and is also proposed to remain.

We have completed our review of the above-referenced documentation and offer following comments:

Review Comments

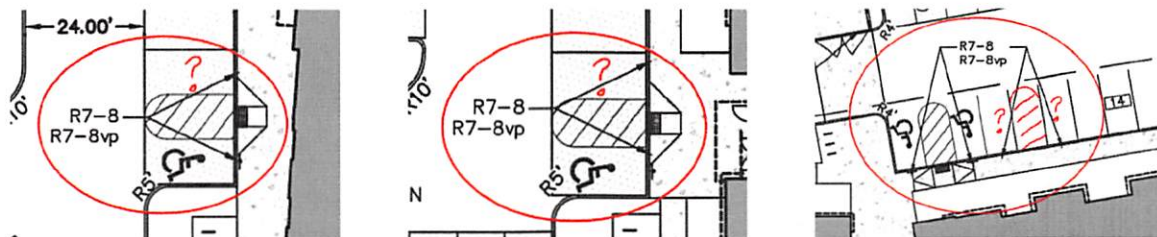
1. The submitted site plan does not include a General Note about Title 39 Enforcement, which must be incorporated in the revised site plan.
2. The Construction Detail (Sheet C9.01) does not include the following Electric Vehicle Supply Equipment (EVSE) Pavement Marking Detail (ref: *Port Authority New York & New Jersey Traffic Details sheet TD50.09*) and Sign Detail (D9-11b, ref *MUTCD 11th Edition*), must be incorporated.



3. The designation and size of Van Accessible Plaque is shown incorrectly in the submitted Construction Detail (Sheet C9.01) plan. Based on MUTCD 11th Edition, the correct designation and size are R7-8aP and 12” x 6”, which must be rectified in the revised plan set.
4. The site plan shows that access to the Project will be provided via two full movement driveways (i.e. Project Driveways) along Executive Park Plaza Road. However, no traffic analyses and volume distributions at these two Project Driveways were provided in the Build condition scenario, which must be included in the revised Traffic Study.

Preliminary and Final Major Site Plan SP-324
Canvas – 3131 Princeton Pike
Planning Board Memorandum #1
Township of Lawrence, Mercer County, New Jersey
August 30, 2024
Page 3 of 3

5. The West Windsor Township Trash Removal and SU Trucks vehicle turning templates are missing in the submitted site plan set, which should be provided.
6. The Traffic Study documented two illegal left-turn movements (eastbound left-turn and southbound left-turn) at Franklin Corner Road and Executive Park Plaza Road intersection. The Study then carried over these illegal left-turn movements in both future No-Build and Build analyses, which are incorrect and must be revised. The Project should not promote any illegal movements and should remove all relevant analysis. While analyzing future condition, all illegal movements must be re-routed to legitimate movements and submit revised analysis results. Moreover, the Traffic Study should recommend mitigation measures to restrict/discourage those illegal movements from occurring in future.
7. The Traffic Study does not provide the land use code for existing 'Office' use, which should be provided.
8. The Traffic Study does not include 'internal capture' calculation worksheet (Appendix D), which should be provided.
9. The 'internal capture' and 'pass-by' values shown in Table 4 of the Traffic Study seemed to be incorrect. We have applied the 'internal capture' reduction rates (1.6% AM, 19.0% PM, 7.1% Sat) and 'pass-by' traffic percentages (0% AM, 34% PM, 26% Sat) to respective land use Total Trips to calculate the values. None of the calculated 'internal capture' and 'pass-by' trip values match Table 4 data. This discrepancy must be addressed, and a revised analysis result is required.
10. The Traffic Study should provide the supporting pages of the recommended AM/PM/Sat 'internal capture trip reduction' and 'pass-by percentage' factors as outlined in Comment 9 above.
11. The submitted site plan (Sheet C3.01) shows 10 ADA spaces, while the Traffic Study states 12 ADA spaces, which should be addressed. Moreover, four (4) of those 10 ADA spaces and accessible aisle striping were not marked properly (shown below), which must be addressed.




This completes our comments currently. Additional comments will be provided as this project moves forward.

CC: James Parvesse, P.E.
Brenda Kraemer, P.E.
Jennifer R. Thomas

TOWNSHIP OF LAWRENCE
Division of Planning and Redevelopment

TO: Brenda Kraemer, Assistant Municipal Engineer
Elizabeth McManus, Planning Consultant
Edwin W. Schmierer, Planning Board Attorney
Quazi Masood, Traffic Consultant
Michael Rodgers, Construction Official
Edward Tencza, Public Safety Coordinating Committee
Environmental Resources Committee
Shade Tree Advisory Committee
Keith Levine, Health Officer

FROM: James F. Parvesse, Municipal Engineer 

SUBJECT: Preliminary & Final Major Site Plan Application No. SP- 3/24
Lawrenceville Development Group, LLC, 3131 Princeton Pike
Tax Map Page 38, Block 3801, Lots 2 & 3

DATE: June 27, 2024

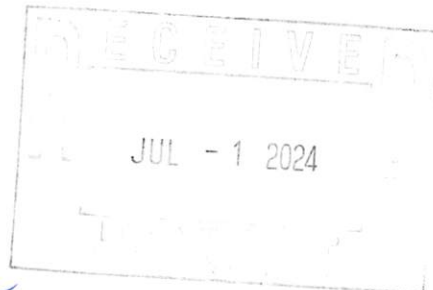
Attached are the documents listed below with regard to the referenced site plan application:

- Application No. SP-3/24 and Supporting Documents
- Site Plans, dated April 24, 2024
- Architectural Plans, dated April 24, 2024
- Landscape Plans, dated April 24, 2024
- Survey, dated May 2, 2024
- Fire Truck Turning Plan, dated April 5, 2024
- Traffic Impact Study, dated May 22, 2024
- Environmental Impact Statement, dated April 24, 2024
- Community Impact Statement, dated April 24, 2024
- Stormwater Management Report, dated April 24, 2024 (Engineer & Environmental Resources only)

This application is scheduled for review by the Planning Board at the meeting to be held Monday, September 16, 2024. Please review these documents and submit your report to this office as soon as possible, but **no later than September 6, 2024**, so that reports may be provided to the applicant and Board members prior to the meeting.

JRT
M:\Planning Board\Applications\3131 Princeton Pike - LDG Land\Distribution Letter.doc
Attachments

07/01/24 NO Fire Comments
7-1-24 No Building Comments
7/1/24 NO ELCTRIC COMMENTS
7/8/24 NO PLBG COMMENTS Jd



TOWNSHIP OF LAWRENCE

P.O. Box 6006
Lawrenceville, New Jersey 08648

REPORT

Lawrence Township Shade Tree Advisory Committee

3131 Princeton Pike

Filed 9/6/2024

The proposed parking lot and high density development was reviewed by STAC. We oppose this plan for the reasons cited below.

- The word “disappointing” applies to this proposal. The proposed removal of mature trees is disappointing. The lack of shading for the parked cars in the proposed expansive asphalt areas is also disappointing. We recommend that existing trees and green areas should be maintained, not paved over. Warm Summer days have turned into sweltering nightmares in Lawrence. Trees can provide cooling. The configuration and high density is incompatible with protection by a volunteer fire department. A fire protection analysis is needed. Some units appear to be inaccessible to LT volunteer fire fighters and other emergency responders.
- Flooding is already a problem in this area of LT. Also, flow of traffic is a problem. Franklin Corner Road has existing failed intersections. This high density, auto-dependent design will exacerbate existing problems. The % of impermeable surface – roof and parking asphalt – exceeds any reasonable %, and needs to be reduced.
- The buildings are surrounded by a ring of asphalt parking spaces where a buffer including evergreen trees is needed. A continuous walking path around the property for the use of residents is needed. Many walkers will therefore be walking on the motorways. This is undesirable and dangerous. Walkways shaded by trees are needed. Planting red maples is not desirable. LT already has an excessive % of swamp maples.
- At this proposed high density, usually parking places would be created under the structures. Many units can have garages under the structures. That would preserve ground space for planting additional trees.
-- Respectfully submitted, David Bosted, STAC Chair

LAWRENCE TOWNSHIP HEALTH DEPARTMENT

2207 Lawrenceville Road - Box 6006 - Lawrenceville, New Jersey 08648

Telephone: (609) 844-7089

RECEIVED

JUL - 8 2024

Date: July 8, 2024

ENGINEERING DEPT.

To: James Parvesse, P.E., Municipal Engineer,

From: Keith Levine

REVIEW FOR:

- | | | | |
|-------------------------------------|--------------------------|--------------------------|-------------------------|
| <input type="checkbox"/> | Building Permit | <input type="checkbox"/> | Food Establishment |
| <input type="checkbox"/> | Certificate of Occupancy | <input type="checkbox"/> | Sewage Disposal System |
| <input checked="" type="checkbox"/> | Planning Board | <input type="checkbox"/> | Individual Water Supply |
| <input type="checkbox"/> | Zoning Board | <input type="checkbox"/> | Commercial Property |
| <input type="checkbox"/> | Other: _____ | <input type="checkbox"/> | Other: _____ |

PROJECT NAME: Lawrenceville Development Group LLC Prelim and Final Mjr.Site Plan SP3/24

LOCATION: 3131 Princeton Pike

BLOCK: 3801 LOT # 2 & 3 PR# NA

OWNER: LDG Land LLC Phone: 267-303-3382

ENGINEER/ARCHITECT: MidAtlantic Engineering - Louis L. Zuegner, PE

ADDRESS: 1971 Route 34, Suite 201 Wall, NJ 07719 PHONE: 732-722-5899

APPROVAL DISAPPROVAL APPROVAL WITH CONDITIONS

COMMENTS:

- Health Department review of the pool design will be required.
- Provide approvals or will serve letters from Trenton Water and ELSA.
- Applicant must comply with 1/16/2024 ELSA sewer ban requirements.
- Clarify the number of trash enclosures that are being proposed.
- A trash container is required at the dog run.
- Compliance with the Lawrence Township Land Use Ordinance Solid Waste requirements at §538 is required.
- All trash enclosures shall be of adequate size to accommodate all anticipated waste containers including trash and recycling, to be located therein.
- Provide additional information regarding handling of trash and recycling at the apartment and mixed use buildings including the retail spaces and the quantity and volume/size of waste containers being proposed.
- We are concerned that there may be insufficient garbage truck access to the trash enclosures.
- Construction and operational activities shall be in accordance with the Lawrence Township Noise Ordinance and NJDEP anti-idling regulations.
- Requirements for the grease trap shown for the restaurant shall be reviewed by the Plumbing Subcode official and ELSA.


REHS


Health Officer

Township of Lawrence
ENGINEERING DEPARTMENT

TO: Susan McCloskey, Tax Collector
FROM: Jennifer Thomas, Account Clerk
SUBJECT: Verification of Current Tax and Sewer Payment Status
DATE: September 5, 2024

Please update the status of taxes and sewer payments with regard to the following application:

Application No(s): SP-3/24
Application Name: **Lawrence Development Group, LLC**
Street Address: 3131 Princeton Pike
Tax Map Page(s): 38
Block: 3801
Lot(s): 2 & 3

Thank you for your anticipated assistance and response.

JRT
g:\engineering\tax request.doc

All property taxes and sewer are paid
in full as of 9/5/24.

Saharra S. Inman
Asst. Tax Collector

LAWRENCE TOWNSHIP TAX COLLECTOR
P.O. Box 6006
2207 Lawrence Road
Lawrenceville, NJ 08648
(609) 844-7041

TOWNSHIP OF LAWRENCE

Edward Tencza, Fire Marshal

Department of Public Safety

TO: Zoning/Planning Board
FROM: Edward Tencza
SUBJECT: Canvas 3131 Princeton Pike, Lawrence NJ
DATE: September 5, 2024

After review of proposed site plan for Canvas 3131 Princeton Pike, Lawrence NJ Block 3801, Lot 2 & 3

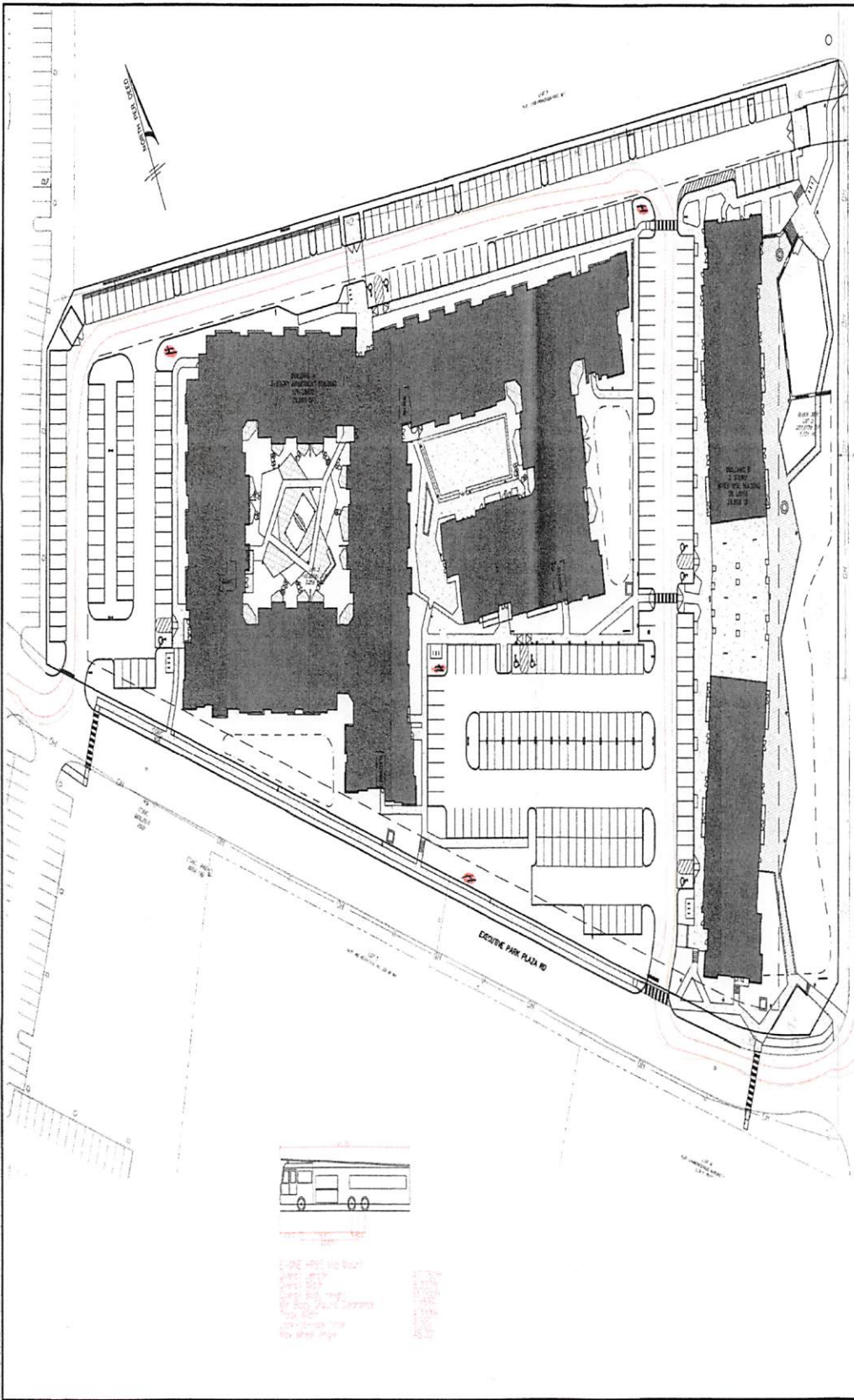
The following items of concern.

1. Location of proposed fire hydrants to be installed on property, unable to determine the location on provided site plan. Recommendation to install additional fire hydrant, as indicated on provided drawing.
 1. Hydrant # 1 location North West corner of West Building
 2. Hydrant # 2 location North East Corner of East Building in curb line adjacent to walkway from Building B
 3. Hydrant # 3 location in curb line at entrance to courtyard between East & West Buildings
2. Fire Access road to Lawrence Township Fire Access specifications between Buildings for Ladder Tower access with curb cut, from Princeton Pike adjacent to North side of Building B
3. Fire Lane Markings with yellow paint and proper "NO PARKING FIRE LANE" signs to be installed in areas indicated in highlighter on provided drawing.
4. Provide proper designated areas for delivery vehicles for Buildings A & B, to prevent these deliver vehicles utilizing Fire Lanes or double parking in roadways prevent proper vehicular access.
5. Provide drawing for Fire Truck access, the largest Tower Ladder in operation is a 1993 100 foot rear mount ladder, with a 256" wheelbase and a 25 degree turning radius.



Edward C. Tencza

Fire Marshal/ Public Safety



Fire Access
Closes Cut
w/ 30' Fire Alarm

SITE LAYOUT LEGEND

| | | | |
|-----|---------|-----|----------|
| --- | ROADWAY | --- | CONCRETE |
| --- | CRS | --- | ASPH |
| --- | BLDG | --- | SI |
| --- | SI | --- | STAIR |
| --- | STAIR | --- | STAIR |
| --- | STAIR | --- | STAIR |
| --- | STAIR | --- | STAIR |
| --- | STAIR | --- | STAIR |
| --- | STAIR | --- | STAIR |
| --- | STAIR | --- | STAIR |



| | | |
|---|--------------------------------|-------------------|
| PRELIMINARY/FINAL MAJOR SITE PLAN CANVAS BLOCK 3801, LOTS 2 & 3 FIRETRUCK TURNING PLAN TOWNSHIP OF LAWRENCE, MERCER COUNTY, N.J. | | SHEET NO. DATE |
| PROJECT NO. CONTRACT NO. PROJECT NO. DATE | DRAWN BY CHECKED BY DATE | SCALE |
| MidAtlantic Engineering Partners 1000 | | SHEET NO. DATE |
| 1 OF 1 | | DATE |



To: Lawrence Township Planning Board
From: Environmental and Green Advisory Committee (EGAC)
Date: September 6, 2024
Re: 3131 Princeton Pike

Per the legal authority and responsibility of the Lawrence Township Environmental and Green Advisory Committee (EGAC), we have reviewed the application materials provided to the Committee by the Township of Lawrence.

Sustainable Design Assessment
Sustainable Site Development

- The Report indicates that most trees on site will remain and be protected, however, there is no tree survey except for the area close to Princeton Pike. The plans show the entire site is generally cleared compacted, and regraded and so there will be a loss of mature healthy trees, including native oak and tupelo not shown on the plans.
- Has a certified arborist checked the trees and informed the plans?
- The trees that are required by the Redevelopment Plan to remain along Princeton Pike appear to be in the mounding area and without enough root-saving area. The combination of regrading and cutting of roots (oaks have more sensitive and wide root areas) will result in tree loss. Can the applicant address tree saving of trees along Princeton Pike and the rest of the development?
- Replace the hybrid species on the landscaping plan with *straight native MidAtlantic Keystone species*.
- Plant more densely as pollinators need a mass of the same species at least 3' by 3'.
- Plant more densely to minimize the need for inputs (water, fertilizer, etc.).
- Plant and maintain according to The American National Standards Institute (ANSI) A300 Tree Care standards.
- Has the Landscaping Plan incorporated sustainable design goals (and §525 212):

Table 1: Goals and Appropriate Landscape Types

| Goal | Landscape type |
|--|--|
| Shade building from summer solar heat gain | Plant deciduous trees to the <i>southeast, south, and southwest</i> of the building. Shorter deciduous trees planted to the <i>west</i> for shade from setting sun or trellises, arbors, and planting beds for tall annuals to shade west-facing windows where summertime heat gain poses the biggest problem. |
| Shade hardscape surfaces to keep ambient temperatures cooler | Plant shrubs and groundcover plants to shade sidewalks and other paved areas. |
| Prevent heat loss in winter | Plant shrubs and vines close to the home (but at least 1 foot away). |
| Create a windbreak | Plant dense evergreens trees and shrubs with low crowns and earth berms to the north and northwest of the building. |

- Report indicates there are no endangered species on site, however, the EIS (and IPAC) do show species of concern and migratory birds. The infield report was conducted in February when unlikely to encounter breeding birds or wildlife/plants of concern.
- The Report indicates that Soil Compaction Mitigation and Erosion control measures will be used during construction. During the construction phase, there is frequently a disconnect between the engineering plans and the construction work. Can the applicant communicate and work with the contractor to ensure proper enforcement?

Water efficiency

- Can cisterns or barrels be added and used for irrigation or otherwise?

Energy Efficiency

- Is energy modeling being employed?
- Appliances will be Energy Star Certified; will the development be EnergyStar Certified (or Leed 5, Passive House?) or employing high-performance building science?
- Can the applicant discuss Lot Orientation and the use of solar gain and thermal mass in the design for energy efficiency and indoor environmental quality (comfort, glare, daylighting, temp, convective flow)?

Indoor Environmental Quality

- Are kitchen ranges induction?
- Is there a Construction Indoor Air Quality (IAQ) Management Plan?

Building Materials Waste Reduction

- Is there a Construction and Demolition Waste Reduction Plan? Will demolition materials be recycled, donated, or incorporated into the design?
- “The Sustainable Design Assessment shall include life-cycle costs analysis as appropriate which compares the proposed development to best available practice...”. Can the applicant discuss this?

Stormwater

- The EIS indicates pollutants will be managed by the stormwater facilities; however, this is only up to 80% of the 100-year storm so there is still pollution of 20% from roadways plus any from roofs or other surfaces. This development is in the Little Shabakunk subwatershed which routinely tests high in nitrates and phosphates. Increasing trees and vegetation and using sustainable landscaping practices (Integrated Pest Management, densely planted native vegetation, etc) will help to minimize pollutants.
- Is the detention basin in the adjacent parcel functioning as designed and for the new use?
- Snow cannot be piled on the pervious pavement, cannot use sand, do not use road salt, use rubber tipped plow or raise the blade level.

Impervious Cover

- Is the maximum of 80% impervious cover met?
- What is the purpose of the synthetic turf? Please provide an alternative such as natural turf.

Parking

- Can the EV parking be distributed rather than all in one area?

Lighting

- WE-EF on the lighting plan is not shielded, can an alternative be provided?